

Pre-Mortem Risk Mitigation

EXPERIENCE SENIOR LIVING - BROOMFIELD



NOVEMBER 3, 2021

Owner/Design Team

Owner: Nexcore Group

- Architect – Oz Architecture
- Civil Engineer – S.A. Miro, Inc.
- Structural Engineer –Fortis Structural LLC
- MEP Design Team – JCAA
- Geotech Engineer – Terracon
- Inspection Agency – Ninyo and Moore
- Landscape – Design Concepts

Client Overview

- Nexcore is a nation-wide healthcare real estate developer.
- Nexcore Projects include Outpatient Centers, Wellness Centers, MOB's, Admin Offices, Hospitals, and Senior Living Facilities
- Nexcore has completed Senior Living projects of similar size and type in FL, IN, and OH
- First project for Nexcore Group - Brinkmann has done work with the current Sr. VP of Sr. Living Development



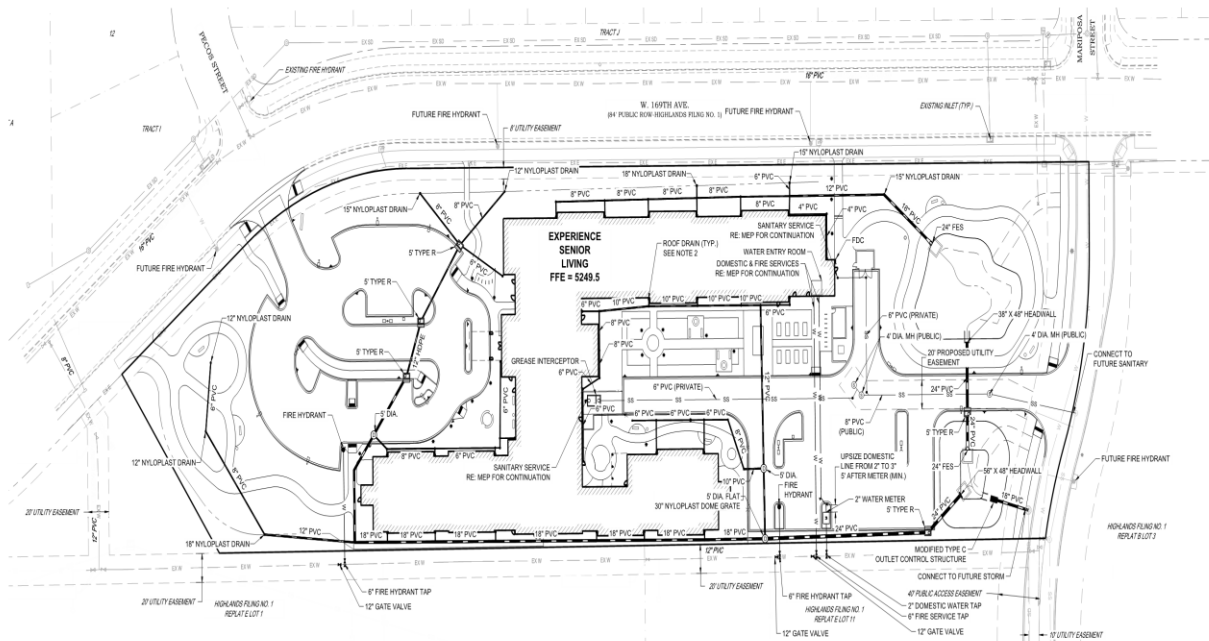
Project Overview

- 115 Unit Senior Living Facility – 85 Assisted Living and 30 Memory Care
- 15' OX+Recompact; PT SOG supporting 3-story wood framed structure.
- Project Statistics
 - Site Area – 5 Acres
 - Total Building Footprint – 45,000 SF
 - Total Building GSF – 101,000 SF
 - Total Unit GSF – 62,260 SF

Project Overview (continued)

- Contract Value – \$22,607,221
 - Includes approx. \$357,000 Owner Contingency
- Schedule – 15 Months
 - 10/26/2021 – Contract Start
 - 01/18/2023 – Substantial Completion
- Liquidated Damages
 - “Estimated” – \$2,500 / day
 - Commences on 31st Day after 01/18/2023
- Early Finish Bonus
 - \$5,000 / calendar day prior to 01/18/2023
 - Written notice to Owner 60 days prior to turn over date

Site Utility Plan



PROJECT NAME:	HIGHLANDS VISTA SENIOR LIVING
LOCATION:	1450 W 169TH AVE.
DRAWING TITLE:	UTILITY PLAN
FILE PATH:	Z:\Submittals\Experience Senior Living\CD\Drawings and Details\CD\1450 W 169th Ave\CD11 - 6/25/2021
DATE:	18 JULY 2021
BY:	18 JULY 2021
NOT FOR CONSTRUCTION	

Second and Third Floor Plan



ALL INFORMATION CONTAINED
 HEREIN IS UNCLASSIFIED
 DATE 08-01-2010 BY 60322
 (U)



300 Lamar Street
 Denver, Colorado 80202
 Phone 303.441.5700
 Fax 303.441.5700

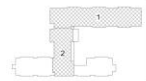


PROJECT NO. 1450 W 169TH AVENUE
 BROOMFIELD, CO 80023

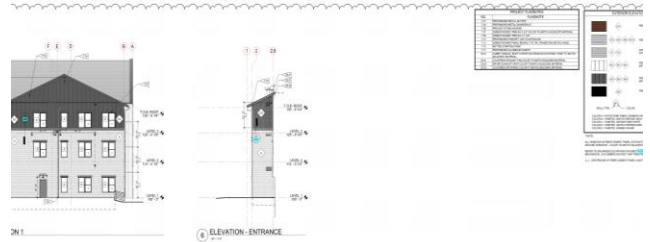
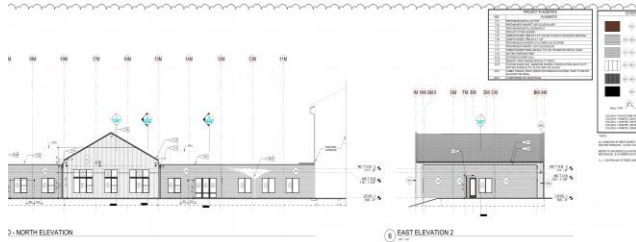
EXPERIENCE LIVING AT BROOMFIELD
 1450 W 169TH AVENUE
 BROOMFIELD, CO 80023

DRAWN: J. H. HARRIS
 CHECKED: M. J. HARRIS
 DATE: 08/01/10
 PROJECT NO.: 1450 W 169TH AVENUE
 BROOMFIELD, CO 80023

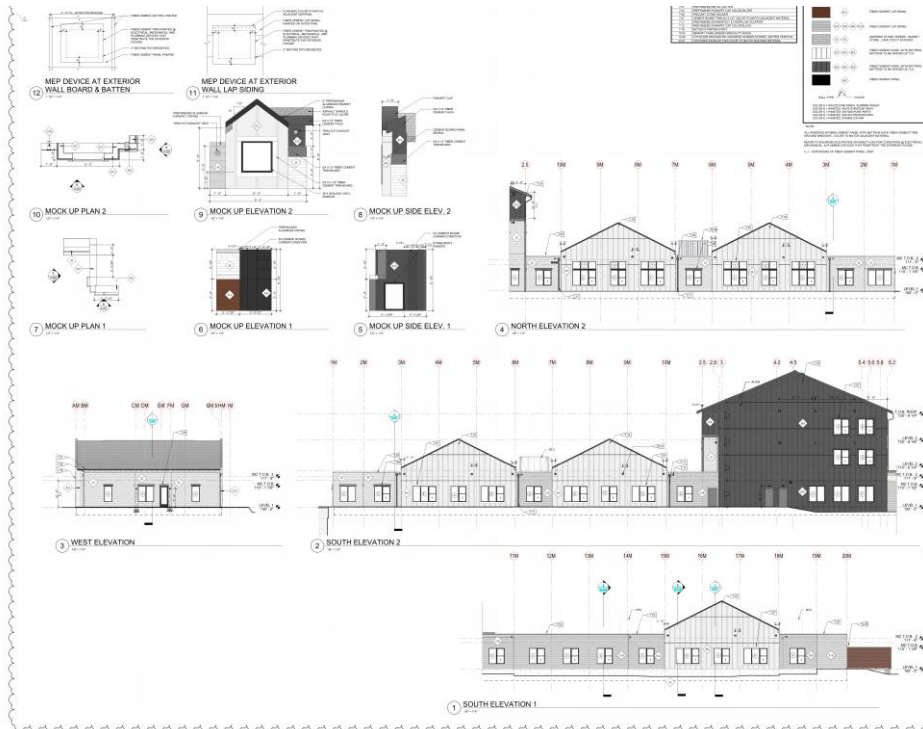
A-102



Elevations



Elevations



Subcontractor List

Surveying	Foresight West
Earthwork	Bedrock Excavating
Asphalt Paving	Brannan
Asphalt Striping	S&S
Site Concrete	Thoult
Site Utilities	Rio
Fencing	Jones Fencing
Landscaping & Irrigation	Vargas
Foundations	M&R
Gypcrete	Colorado Crete
Structural Steel	Mile High Metal Works
Structural Masonry	Del's Masonry
Façade Masonry (Brick or Stone)	BSM
Rough Carpentry - Turnkey	SF Construction
Finish Carp - Commons	Wood Masters
Finish Carp - Everything Else	McKee
Cabinet Supply	Diversified Distirbutors
Countertops	Universal Stone
Insulation and Firestopping	Alcal
Roofing	Tectum
Caulking and Waterproofing	Elite
Fire Proofing	RG Insulation
Doors, Frames, Hardware - Material	Griffith Lumber
Automated Doors	DH Pace

Vinyl Windows	Prime Windows
Storefront	Ken Caryl
Painting	Pats
Drywall	Four Star
Acoustical Ceilings	Acoustical Systems
Flooring	EastCo
Shower Panel Furnish	MPL
Shower Panel Install	ISQ
Specialties Supply	AORBIS
Mailboxes	Page Specialties
Signage	Boyd Sign Systems
Window Treatments	LuTek
Fireplaces	Distinctive Mantel
Appliances - Bulk Unit	Whirlpool
Appliances - Specialty Items	Lynn Cunningham
Kitchen Equipment	Markham
Elevator	OTIS
Fire Protection	Safety Systems
Plumbing	Hudson
HVAC	Bruce Mechanical
Radon	ACE
Electrical	Reliance
Low Volt	Everbase Solutions
Radio Amplification	Triple C

Pre-Mortem Risk Mitigation

REASONS FOR FAILURE:



What can slow us down and/or prevent us from hitting our turnover date?



What are we already nervous about?



Where did we discover blind spots on past projects?



How quickly can we respond when something goes wrong?



Where are the biggest risk areas?

REASONS FOR SUCCESS:

- Where can we over-achieve to possibly make up for any shortcomings that might exist?

Pre-Mortem Risk Mitigation



Put Risks into Similar Categories/Themes



Identify Top 3-4 Risks or Opportunities



Solve the Problem/Risk Mitigate – Get Tactical/Granular



Assign Owner to each Risk or Opportunity



Follow Up, Follow Up, Follow Up